



# Barn Mews

Collingtree, Northampton

oriordanbond  
SALES & LETTINGS





## Barn Mews

Collingtree  
NN4 0PR

Offers Over  
£400,000

**An immaculately presented four double bedroom family home, situated along a private road, within the desirable village of Collingtree. This property sits on a private road with three similar properties and provides over 1,300 square feet of accommodation.**

Entrance hall, re-fitted cloakroom/WC, generous 17' sitting room with patio doors to a courtyard style garden, a re-fitted kitchen with integrated appliances, utility room and a separate dining room with patio doors leading to a lawned garden. To the first floor is a fabulous re-fitted four-piece family bathroom and four good size double bedrooms with the master bedroom benefitting from a re-fitted en-suite. Outside, there is a lawned garden and further courtyard style garden and a gravelled driveway leading to a double garage with one of the garages converted to a home office/gym. Further benefits include double glazing and gas radiator heating. (A/1345/S)

- Immaculate four bedroom detached home
- Re-fitted en-suite to master bedroom
- Re-fitted kitchen and four-piece bathroom
- Gas radiator heating
- Lawned garden and further courtyard style garden
- Gravelled driveway leading to a double garage





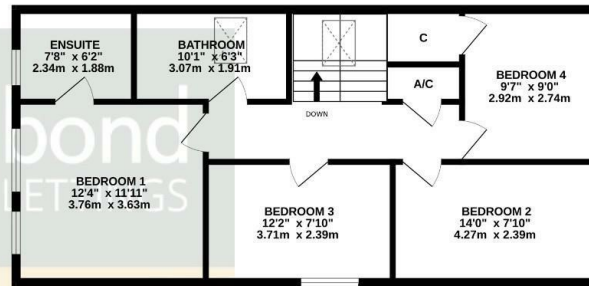




GROUND FLOOR  
670 sq.ft. (62.2 sq.m.) approx.



1ST FLOOR  
675 sq.ft. (62.7 sq.m.) approx.



TOTAL FLOOR AREA : 1345 sq.ft. (124.9 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
Made with Metropix ©2024



#### Additional information

- Council Tax Band: E
- Energy Efficiency Rating: D

#### Viewing

Viewing strictly by appointment – details below

#### Disclaimer

O'Riordan Bond Estate Agents Limited has not tested apparatus, equipment, fittings or services and so cannot verify they are in working order. The buyer is advised to obtain verification from their solicitor or surveyor.

**O'Riordan Bond Hunsbury Sales**

**01604 706007**

[hunsbury@oriordanbond.co.uk](mailto:hunsbury@oriordanbond.co.uk)

